

The Commonwealth of Massachusetts

Town of Williamsburg

Office of the Board of Appeals

Application for an appeal, a Special Permit, or a Variance

To the Town Clerk of Williamsburg, Massachusetts,

Pursuant to the provisions of Chapter 40A of the Massachusetts General Laws and the Protective Bylaw of the Town of Williamsburg, application is hereby made to the Board of Appeals for:

\_\_\_\_\_ An Appeal from a decision of an Official or Board of the Town or

X A Special Permit, as required by Section 12, paragraph 40A or

\_\_\_\_\_ A Variance, as required by Section \_\_\_\_\_, paragraph \_\_\_\_\_, of

the Zoning Bylaw of the Town, to do the following:

Construct a mixed use workshop / garage building. Please see attached for more information

(use another page if more room is needed)

On premises located at 46 Hyde Hill Rd, Williamsburg, Ma

Assessor's Map and Parcel number Map C, Parcel 170

Owned by Alex Kassell & Cindy Kassell

Deed recorded Book – page 12590 / 143

Applicant Signature [Signature] Phone No. ( 413 ) 214-2368

A complete Application includes Plans, List of Abutters and Map, Fees, narrative and other supportive materials

\*\*\* Administrative Use Only \*\*\*

Completed application received by Town Clerk on August 15, 2017 at 6<sup>00</sup> pm  
Date time

Town Clerk Stamp:

Town Clerk Brenda Lenczak Appeals Board \_\_\_\_\_  
Signature Signature

Filing Fee Computation: 17 x 1.50 = Certificate of Mailing Expense of \$ 25.50

Expense of regular mail and publication in periodical \$ 150.00

Application No. \_\_\_\_\_ Administrative Expense \$ 100.00

Date of Hearing \_\_\_\_\_ Total Filing Fee Received \$ 275.50

\*\*A COMPLETE application must include documentation and plans as outlined on page 3 of this packet \*\*\*

Tuesday, August 15, 2017

To: Zoning Board of Appeals

From: Alex Kassell

RE: Application for a special permit to build a mixed use building at 46 Hyde Hill Rd, Williamsburg, MA

*Please find attached plans for a mixed use building at 46 Hyde Hill Rd in Williamsburg Ma. I overlaid a google earth map with the Williamsburg Tax Assessor's map to demonstrate the location of the proposed building on my property, relative to neighboring properties and buildings. The proposed building is depicted in red.*

*I picked this site on the property because of its topography, its proximity to the existing driveway, power lines and house. The setbacks are more than adequate, and I intend to leave as many of the surrounding trees intact, to help hide the building from the neighboring properties.*

*As we discussed in person, I would like to build a structure divided into a garage and a workshop. I have attached the drawings from a steel building company whom I intend to contract with to provide the main structure, that show the main structure, and have attached additional drawings that show how the space will be divided. It is my intention to use vertical barn siding from Lashaway lumber instead of the metal siding in the specifications of the metal building, as I believe it will be more aesthetically pleasing, and more in keeping with the existing house on the property.*

*I have also attached the email ( less photos ) I sent to the ZBA when I requested the informal hearing, rather than reiterate all those points here, that explains a little more about who I am, and what my intentions are.*

*Please feel free to contact me should you have any questions or concerns.*

*Thanks for your consideration, Alex Kassell*

Hello Williamsburg Board of Appeals. My wife, two young daughters and I have recently purchased the house and property at 46 Hyde Hill Rd, and I am interested in putting in a shop / garage there. I have a small part-time business making architectural items out of metal, and would like to build a shop for that business. I also have a tractor, a riding mower, a small boat, as well as kids bikes, etc., that I would like to store under a roof. It is my hope to build one building that can house both the business and have enough room to bring those items inside.

I contacted the building inspector via email, and he recommended that I request an informal hearing to discuss what I'd like to do, and include specifics of where on the site I'd like to build and details of the building. I also talked to the town clerk who recommended that I include details of what my business does, with picture of my work, as well as the details of the shop / garage I'd like to build.

I'll start with my business: For the past 18 years I have been fabricating architectural objects out of metal, such as tables, counter tops, and kitchen islands. I have attached a couple of example of kitchen islands I built in collaboration with a woodworker in Beacon NY. These projects often takes months to complete, and while I collaborate with woodworkers as well as with architects and designers, I work alone in the shop. I also have some real estate investments and 2 young daughters I am active in raising, so my shop is in use far less than 40 hours a week. Most of my work goes to New York City, and I almost never have client visits ( they seldom want to come this far up ). I have found that keeping a low profile has benefits - I have had many people bring me things over the years needing repairs, such as inexpensive lawn chairs and worn out farm implements, and while I feel bad turning people away, it's almost always a losing proposition to take those projects. For that reason I would not want a sign on the road at all, just a label on the mailbox. For finish work I send out parts that need plating, painting, powder coating, anodizing, etc., so there are no hazardous chemicals or processes involved with what I do. In brief, my business is very low impact in all respects: no traffic, no signs, no chemicals or fumes and not full time.

The building: I believe that a 2,400 square foot building would be large enough to house both my shop and the tractor, etc. From talking to the building inspector it seems that that size takes me out of light industrial, which seems to best define what I do. I asked about mixed use since a large portion would be for storage, and he said that might be possible, but that I would have to partition the space, which would obviously be an additional cost. One of the reasons I want to have an informal hearing is to determine what is possible ( or likely ) to be approved. Before we purchased 46 Hyde Hill Rd. I had a company give me a quote for a steel building, and I have attached the plans for that building. I will likely make some changes to the design before I fill out an application for a special permit, but needed a quote so I could get a sense of whether I could afford to buy the property and put up a shop before we made an offer to purchase the property. The shop would not have running water, and therefore no septic.

Siting: There are a couple of locations that make sense to us to site the shop, and we haven't made a decision as to which we prefer. While our lot is slightly over 43 acres, due to the way it was carved up and the topography, as well as proximity to existing power lines and the driveway, I believe those 2 locations to be the best ones. Both leave quite a bit more than the minimum set back requirements from the property lines, are reasonably close to power lines and the existing driveway, and neither disturbs our view nor the neighbors view. Once I have a sense of what may or may not be allowed by the zoning board we will pick the preferred site. I have included a google earth image showing the possible sites and the location of the existing house, as well as a portion of the tax map where I have drawn the same freehand ( 46 Hyde Hill is lot 170 on the tax map ). The locations and scale are, of course, approximate. Also, to be clear, I have noted 2 possible locations, but intend to build only 1 structure.

Please feel free to contact me with any questions you may have,

Sincerely Alex Kassell

The following are abutters within 300 feet of the property located at 46 Hyde Hill Rd, Williamsburg Ma and further identified as Map 3C, Lot 170.  
 This property is owned by Alex and Cindy Kassell with a mailing address of 46 Hyde Hill Rd, Williamsburg, Ma 01096.

<u>Name</u>	<u>Street Address</u>	<u>Mailing Address</u>	<u>Town</u>	<u>State</u>	<u>Zipcode</u>	<u>Map &amp; Parcel</u>
James Robator	109 Goshen Rd	same	Williamsburg	MA	01096	C-100
David Lashway & Tara O'Brien	127 Goshen Rd	PO BOX 564	Williamsburg	MA	01096	C-114
Doranda Carriere, Jan & Doug Culver	56A Hyde Hill Rd	56 Hyde Hill Rd	Williamsburg	MA	01096	C-115
Carl and Candy Smith	50 Hyde Hill Rd	same	Williamsburg	MA	01096	C-115A
Doranda Carriere and Stephen Carriere	52 Hyde Hill Rd	same	Williamsburg	MA	01096	C-115-2
William Lockwood	55 Hyde Hill Rd	51 Hyde Hill Rd	Williamsburg	MA	01096	C-117 & 120
Keith Dufrense	115 Goshen Rd	113 Goshen Rd	Williamsburg	MA	01096	C-119
Elizabeth Filson	31 Hyde Hill Rd	same	Williamsburg	MA	01096	C-121
Jennifer Drumm Schmidt	33 Hyde Hill Rd	17 Valley View Rd	Williamsburg	MA	01096	C-158;1
Snow Farm	5 Clary Rd	same	Williamsburg	MA	01096	C-172
Kathaleen Emerson & William Lockwood	53 Hyde Hill Rd	37 Hyde Hill Rd	Williamsburg	MA	01096	C-173
Kathaleen & Gary Emerson	37 Hyde Hill Rd	same	Williamsburg	MA	01096	C-174
Charles & Donna Baldwin	44 Hyde Hill Rd	same	Williamsburg	MA	01096	C-177
Nancy Braxton	36 Hyde Hill Rd	same	Williamsburg	MA	01096	C-178
Susan & Stephen Snow	34 Hyde Hill Rd	36 Old Goshen Rd	Williamsburg	MA	01096	C-180
John & Emma Peterson	35 Hyde Hill Rd	same	Williamsburg	MA	01096	C-189
Richard & Donna Cernak	48 Hyde Hill Rd	same	Williamsburg	MA	01096	C-190

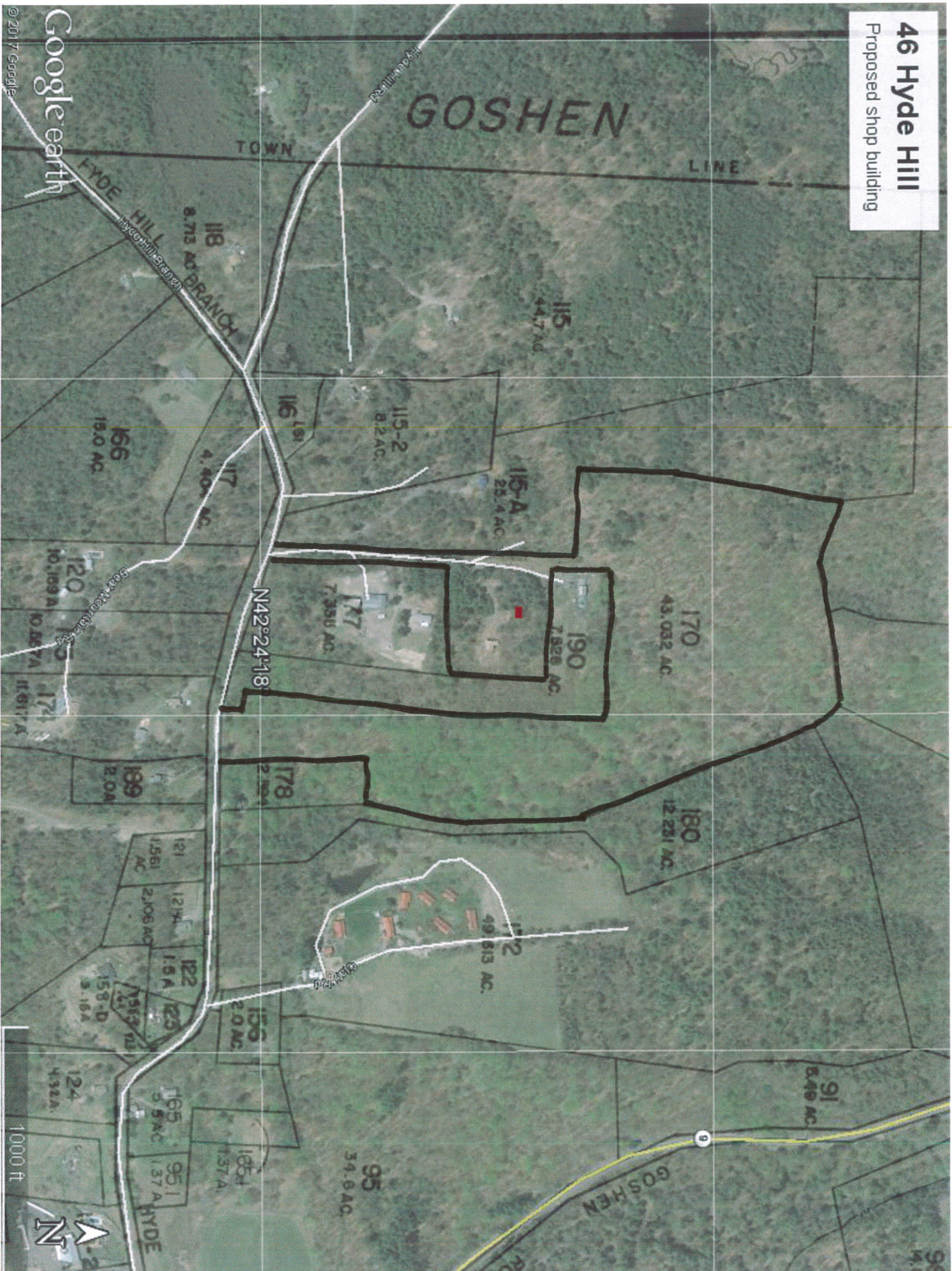
**Williamsburg Board of Assessor's**

5/18/2017

*Devin H Bonaiuto*  
*Alex Kassell*  
*Cindy Kassell*  
*Alex B. Shumway Jr*

# 46 Hyde Hill

Proposed shop building



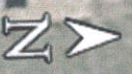
**46 Hyde Hill**  
Proposed shop building

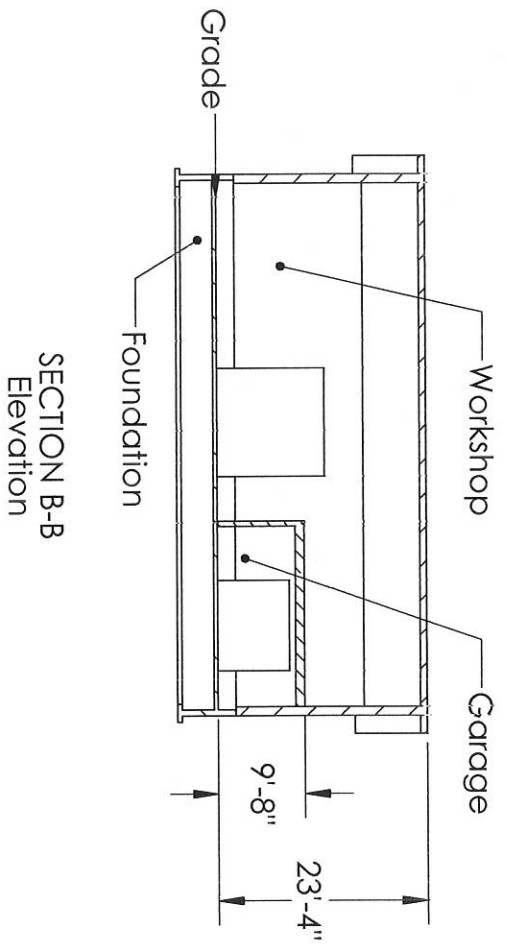
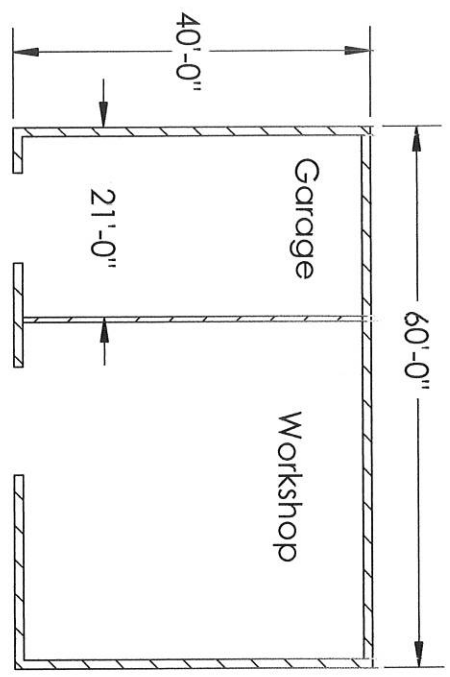
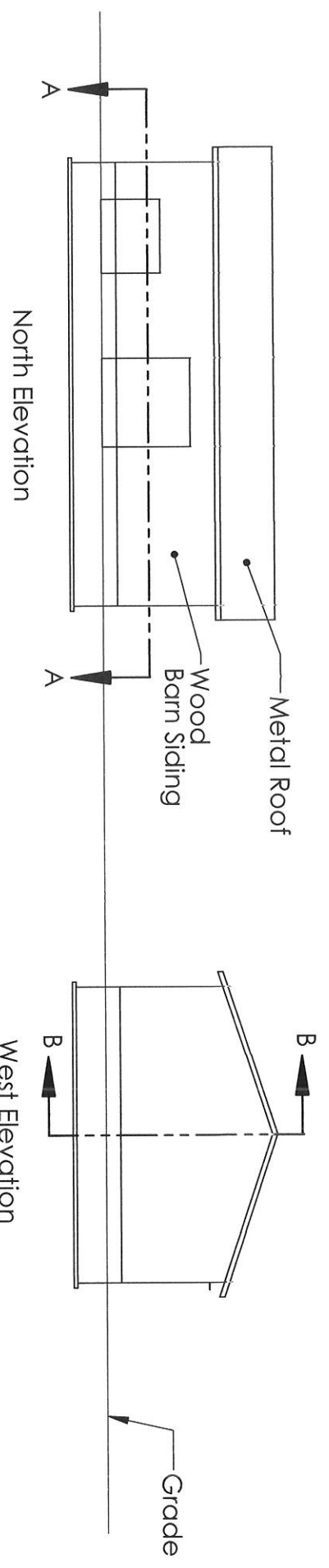


Google earth

© 2017 Google

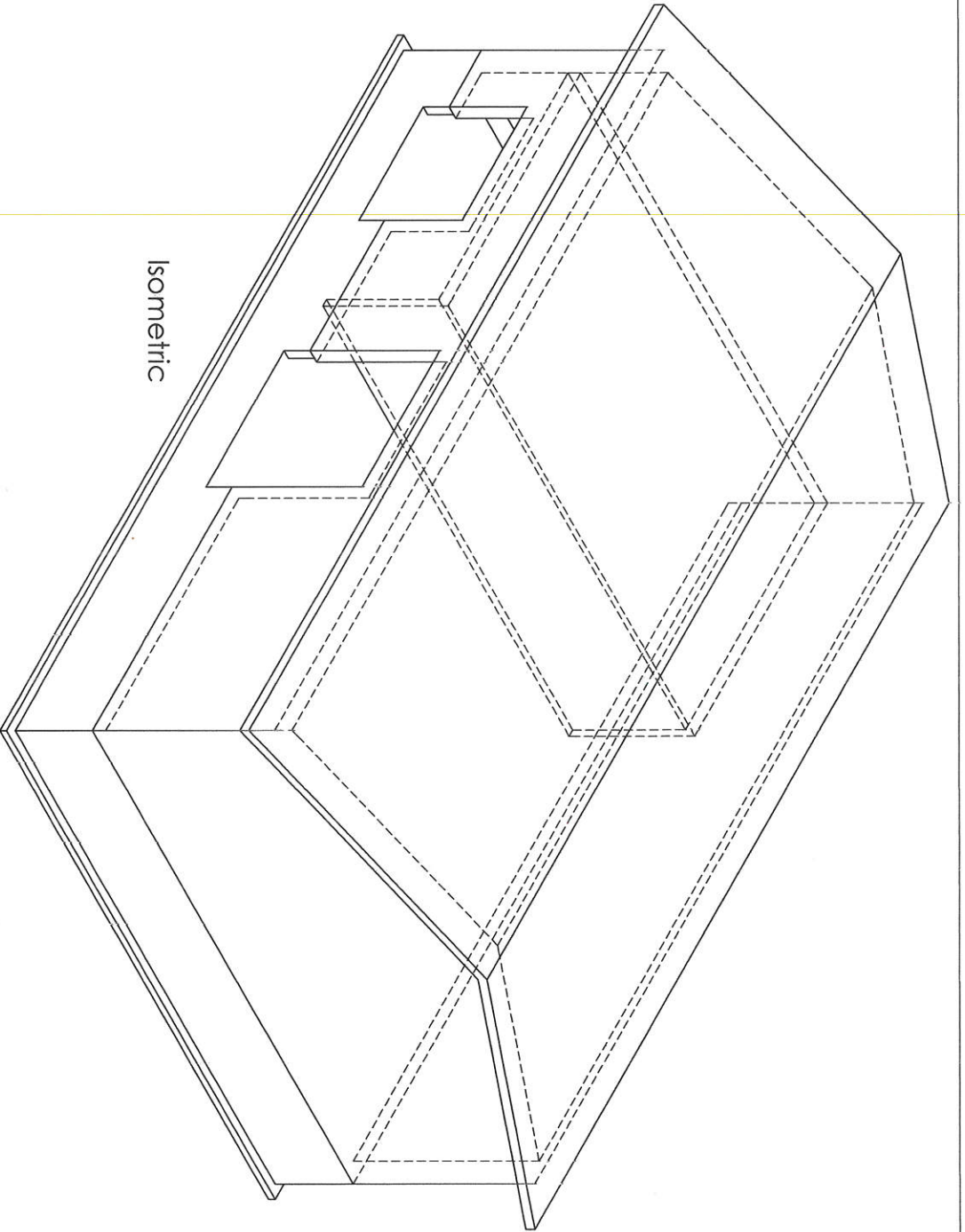
100 ft





UNLESS OTHERWISE SPECIFIED: DIMENSIONS ARE IN INCHES TOLERANCES: FRACTIONAL ± ANGULAR: MACH ± BEND ± TWO PLACE DECIMAL ± THREE PLACE DECIMAL ±		DRAWN	NAME	DATE	<b>GET BENT METAL WORKS</b>  TITLE: 46 Hyde Hill Rd Proposed Shop  SIZE DWG. NO. REV <b>A</b> SCALE: 1:256 SHEET 1 OF 2
INTERPRET GEOMETRIC TOLERANCING PER:		CHECKED			
MATERIAL		ENG APPR.			
FINISH		MFG APPR.			
DO NOT SCALE DRAWING		Q.A.			
COMMENTS:					

**PROPRIETARY AND CONFIDENTIAL**  
 THE INFORMATION CONTAINED IN THIS  
 DRAWING IS THE SOLE PROPERTY OF  
 GET BENT METAL WORKS, INC. ANY  
 REPRODUCTION IN PART OR AS A WHOLE  
 WITHOUT THE WRITTEN PERMISSION OF  
 GET BENT METAL WORKS, INC IS  
 PROHIBITED.



Isometric

**GET BENT METAL WORKS**

TITLE:

46 Hyde Hill Rd  
Proposed Shop

SIZE DWG. NO. REV

**A**

SCALE: 1:256 SHEET 2 OF 2

UNLESS OTHERWISE SPECIFIED:

DIMENSIONS ARE IN INCHES  
TOLERANCES:  
FRACTIONAL ±  
ANGULAR: MACH ± BEND ±  
TWO PLACE DECIMAL ±  
THREE PLACE DECIMAL ±

INTERPRET GEOMETRIC  
TOLERANCING PER:

MATERIAL

FINISH

DO NOT SCALE DRAWING

NAME DATE

DRAWN

CHECKED

ENG APPR.

MFG APPR.

Q.A.

COMMENTS:

5

4

3

2

1



**BUILDING QUOTE**



Northern Building Systems, Inc.  
540 Hinsdale Rd.  
Dalton, MA 01226

www.northernbuildingsystems.com  
Ph: 413-684-9916  
Fax: 413-684-9945  
7/19/17 3:22 PM

CSR: Project

**GENERAL INFORMATION**

Builder: **Alex Kassell**  
Address: **46 Hyde Hill Road**  
City, State, Zip: **Williamsburg, MA 02096**

Project: **Alex Kassell Shop Building**  
Address: **46 Hyde Hill Road**  
City, State, Zip: **Williamsburg, MA 02096**  
County: **888-266-9153**

Contact: **Alex Kassell**  
Ph:  
Fax:  
Email:

Complexity: **3**  
Quote Number: **Q170215**

**DRAWINGS INCLUDED**

Anchor Bolt Plans: **3**  
Preliminary Plans: **3**  
Approval Plans: **0**

Erection Drawings: **3**  
Design Calcs: **0**  
Letter of Cert: **3**

**NOTE: If Approval Plans are required, fabrication will be held pending receipt of signed copies.**

**WARRANTIES INCLUDED**

Standard Galvalume Warranty: **Yes**  
Standard Twenty Year Paint Warranty: **Yes**  
Twenty Year Weather Tightness Warranty: **No**

**DESIGN CODES & LOADS**

Governing Code: **IBC 09**  
Building Class: **II - Normal**  
Risk Category:

Wind Loads

Velocity, V: **90** mph  
Wind Exposure: **C**  
Enclosure Type: **Closed**  
Importance, Iw: **1.00**

Dead and Collateral Loads

Dead: **5.00** psf  
Collateral: **8.00** psf  
Roof Live Load: **20.00** psf

Snow Loads

Ground Snow, Pg: **50.00** psf  
Design Roof Snow, Pf: **40.00** psf  
Minimum Uniform Snow: **0.00** psf  
Snow Exposure Factor, Ce: **1.00**  
Thermal Factor, Ct: **1.00**  
Roof Slope Factor, Cs: **1.00**  
Snow Importance, Is: **1.00**

Seismic Loads

Seismic Importance, ie : **1.00**  
Seismic Design Category : **B**  
Soil Site Class : **D**  
Seismic,Ss: **0.22**  
Seismic,S1: **0.067**

Deflections

Endwall Column: **180**  
Endwall Rafter (Gravity): **240**  
Endwall Rafter (Uplift): **180**  
Wall Girt: **180**  
Roof Purlin (Gravity): **180**  
Roof Purlin (Uplift): **150**  
Wall Panel: **120**  
Roof Panel (Gravity): **180**  
Roof Panel (Uplift): **150**  
Rigid Frame (Horz): **60**  
Rigid Frame (Vert): **240**  
Wind Framing: **60**  
Partition Column: **120**  
Partition Girt: **90**  
Partition Panel: **90**

Project: **Alex Kassell Shop Building**  
City, State, Zip: **Williamsburg, MA 02096**

Quote Number: **Q170215**

**BUILDING DESCRIPTION**

Width (FT): <b>40'-0"</b>	Length (FT): <b>60'-0"</b>
Left Eave Height (FT): <b>16'-0"</b>	Right Eave Height (FT): <b>16'-0"</b>
Peak Offset (FT): <b>20'-0"</b>	Back Roof Slope: <b>4.0:12</b>
Left Endwall Bay Spacing: <b>1 at 22'-0"</b>	Front Roof Slope: <b>4.0:12</b>
<b>1 at 18'-0"</b>	
Right Endwall Bay Spacing: <b>1 at 18'-0"</b>	
<b>1 at 22'-0"</b>	
Sidewall Bay Spacing: <b>3 at 20'-0"</b>	

**RIGID FRAMING #1**

Frame Type: <b>RF-</b>	<b>Rigid Frames</b>	
Frame Load Width: <b>20</b>		Frame Line(s): <b>2 3</b>
Back Column Type: <b>constant depth</b>		Back Column Elevation: <b>2'-0"</b>
Front Column Type: <b>constant depth</b>		Front Column Elevation: <b>2'-0"</b>
Interior Column Location: <b>N/A</b>		Interior Column Elevation: <b>0'-0"</b>

Finish: **Grey Primer**

**RIGID FRAMING #2**

Frame Type: <b>RF-</b>	<b>Rigid Frames</b>	
Frame Load Width: <b>13</b>		Frame Line(s): <b>1 4</b>
Back Column Type: <b>constant depth</b>		Back Column Elevation: <b>2'-0"</b>
Front Column Type: <b>constant depth</b>		Front Column Elevation: <b>2'-0"</b>
Interior Column Location: <b>22'-0"</b>		Interior Column Elevation: <b>24"</b>

Finish: **Grey Primer**

**ENDWALL FRAMING**

Left Endwall Frame Type: <b>Rigid Frame</b>	Left Endwall Column Elevation: <b>2'-0"</b>
Right Endwall Frame Type: <b>Rigid Frame</b>	Right Endwall Column Elevation: <b>2'-0"</b>

Finish: **Grey Primer**

Project: **Alex Kassell Shop Building**  
 City, State, Zip: **Williamsburg, MA 02096**

Quote Number: **Q170215**

**ROOF AND WALL FRAMING**

Type	Depth	Offset	Projection
Roof Purlins Surface 2: <b>Z Bypass</b>	8"	0"	0"
Roof Purlins Surface 3: <b>Z Bypass</b>	8"	0"	0"
Left Endwall Girts: <b>Z Flush</b>	8"	0"	1"
Front Sidewall Girts: <b>Z Flush</b>	8"	0"	1"
Right Endwall Girts: <b>Z Flush</b>	8"	0"	1"
Back Sidewall Girts: <b>Z Flush</b>	8"	0"	1"

Base Type: **Base Channel**

Finish **G-90 Galvanized**

**OPEN WALL AREAS**

Location	#Sets	Bay Start	Bay End	Wall Height	Full Load	Base Type
Left Endwall:	1	1	2	2'-0"	N	<b>Base Channel</b>
Front Sidewall:	1	1	3	2'-0"	N	<b>Base Channel</b>
Right Endwall:	1	1	2	2'-0"	N	<b>Base Channel</b>
Back Sidewall:	1	1	3	2'-0"	N	<b>Base Channel</b>

**BRACING**

	Bay ID Number
Roof: <b>Cable Diagonal Bracing</b>	3
Left Endwall: <b>Rigid Frame</b>	
Front Sidewall: <b>Cable Diagonal Bracing</b>	3
Right Endwall: <b>Rigid Frame</b>	
Back Sidewall: <b>Cable Diagonal Bracing</b>	1

**FACTORY LOCATED FRAMED OPENINGS**

	Qty	Bay	Width	Height	Offset	Type	Sill	Base	Remove Panel
Left Endwall:	1	2	3.3333	7.1670	3.3330	10	0.0000	2.0000	'N'
Front Sidewall:	3	1	10.0000	8.0000	5.0000	45	0.0000	2.0000	'Y'
			12.0000	12.0000	6.5000	45	0.0000	2.0000	'Y'
Right Endwall:	2	3.3333	7.1670	1.5000	10	0.0000	2.0000	'F'	
									0
Back Sidewall:	1	2	3.3333	7.1670	8.5000	10	0.0000	2.0000	'F'

Project: **Alex Kassell Shop Building**  
 City, State, Zip: **Williamsburg, MA 02096**

Quote Number: **Q170215**

**ROOF AND WALL SHEETING**

Roof Panel Type: **PBR**      36" MBCI Standard Roll      Gauge: **26**  
 Clip Type:      Color: **Galvalume Plus**  
 Clip Height (in):      Insulation Blocks:  
 Machine Seamed:      Thickness (in):

	Panel Type:		Gauge:	
Left Endwall:	<b>PBRR</b>	36" MBCI Reverse Roll	<b>26</b>	Color: <b>Signature 300 Need Color</b>
Front Sidewall:	<b>PBRR</b>	36" MBCI Reverse Roll	<b>26</b>	Color: <b>Signature 300 Need Color</b>
Right Endwall:	<b>PBRR</b>	36" MBCI Reverse Roll	<b>26</b>	Color: <b>Signature 300 Need Color</b>
Back Sidewall:	<b>PBRR</b>	36" MBCI Reverse Roll	<b>26</b>	Color: <b>Signature 300 Need Color</b>

**TRIM COLORS**

Eave Trim Color: <b>300 Need Color</b>	Style: <b>MBCI Trim</b>
Gable Trim Color: <b>300 Need Color</b>	Style: <b>MBCI Trim</b>
Corner Trim Color: <b>300 Need Color</b>	Style: <b>MBCI Trim</b>
Opening Trim Color: <b>300 Need Color</b>	Style: <b>MBCI Trim</b>
Base Trim Color: <b>300 Need Color</b>	Style: <b>MBCI Trim</b>

**GUTTERS AND DOWNSPOUTS**

Front Sidewall Gutter (Ft): <b>NONE</b>	Downspout (Qty): <b>NONE</b>
Back Sidewall Gutter (Ft): <b>NONE</b>	Downspout (Qty): <b>NONE</b>
Gutter Trim Color: <b>NONE</b>	Style: <b>NONE</b>
Downspout Trim Color: <b>NONE</b>	Style: <b>NONE</b>

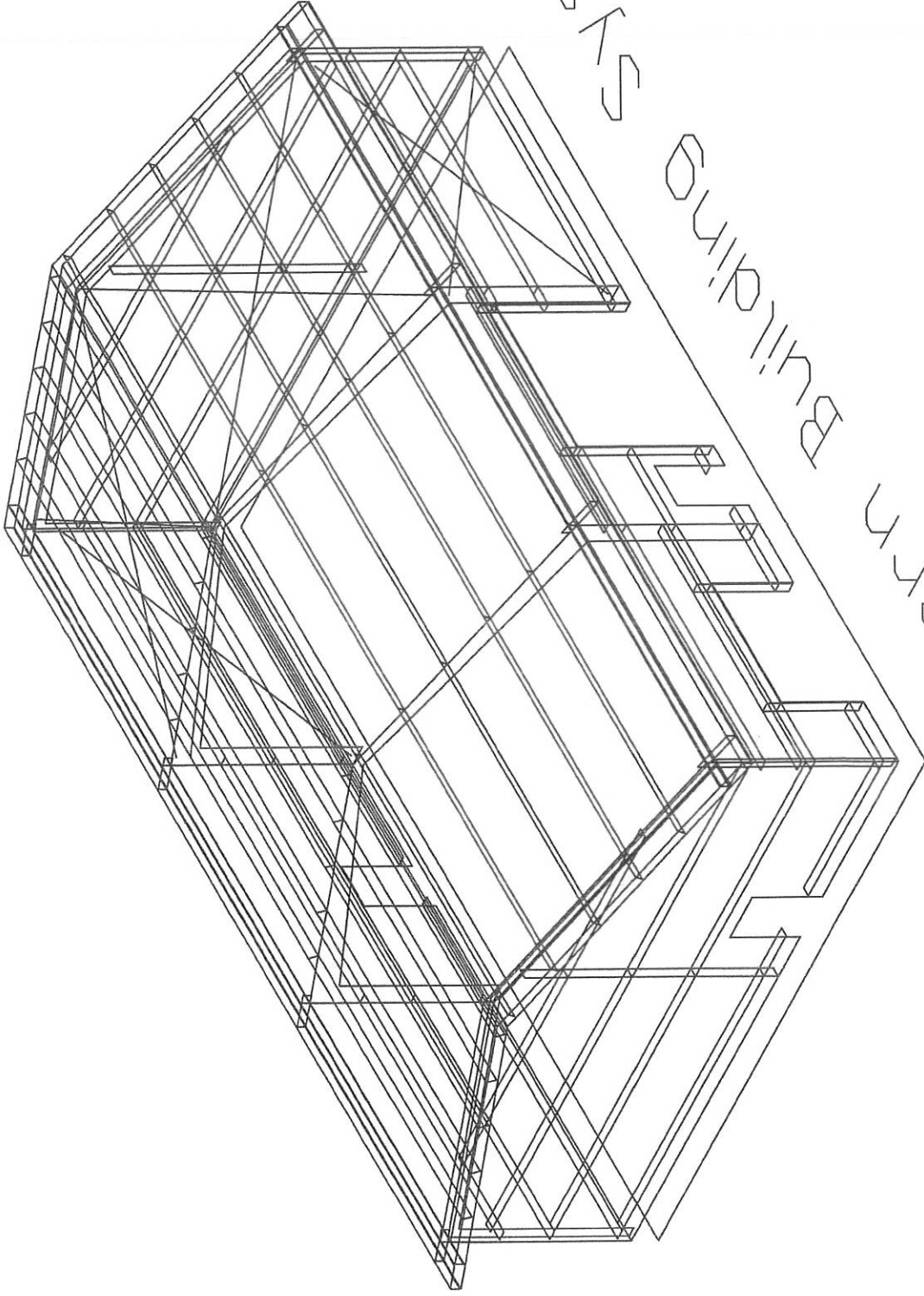
**EAVE EXTENSIONS**

Extension Size:	Bay Start	Bay End	Extend Start	Extend End	Purlin Type	Member Type	Member Shape
Front Sidewall: <b>2'-0" ft by 60'-0" ft</b>	<b>1</b>	<b>3</b>	<b>2'-0"</b>	<b>2'-0"</b>	<b>ZF--</b>	<b>Hot Rolled</b>	<b>Constant</b>
Back Sidewall: <b>2'-0" ft by 60'-0" ft</b>	<b>1</b>	<b>3</b>	<b>2'-0"</b>	<b>2'-0"</b>	<b>ZF--</b>	<b>Hot Rolled</b>	<b>Constant</b>

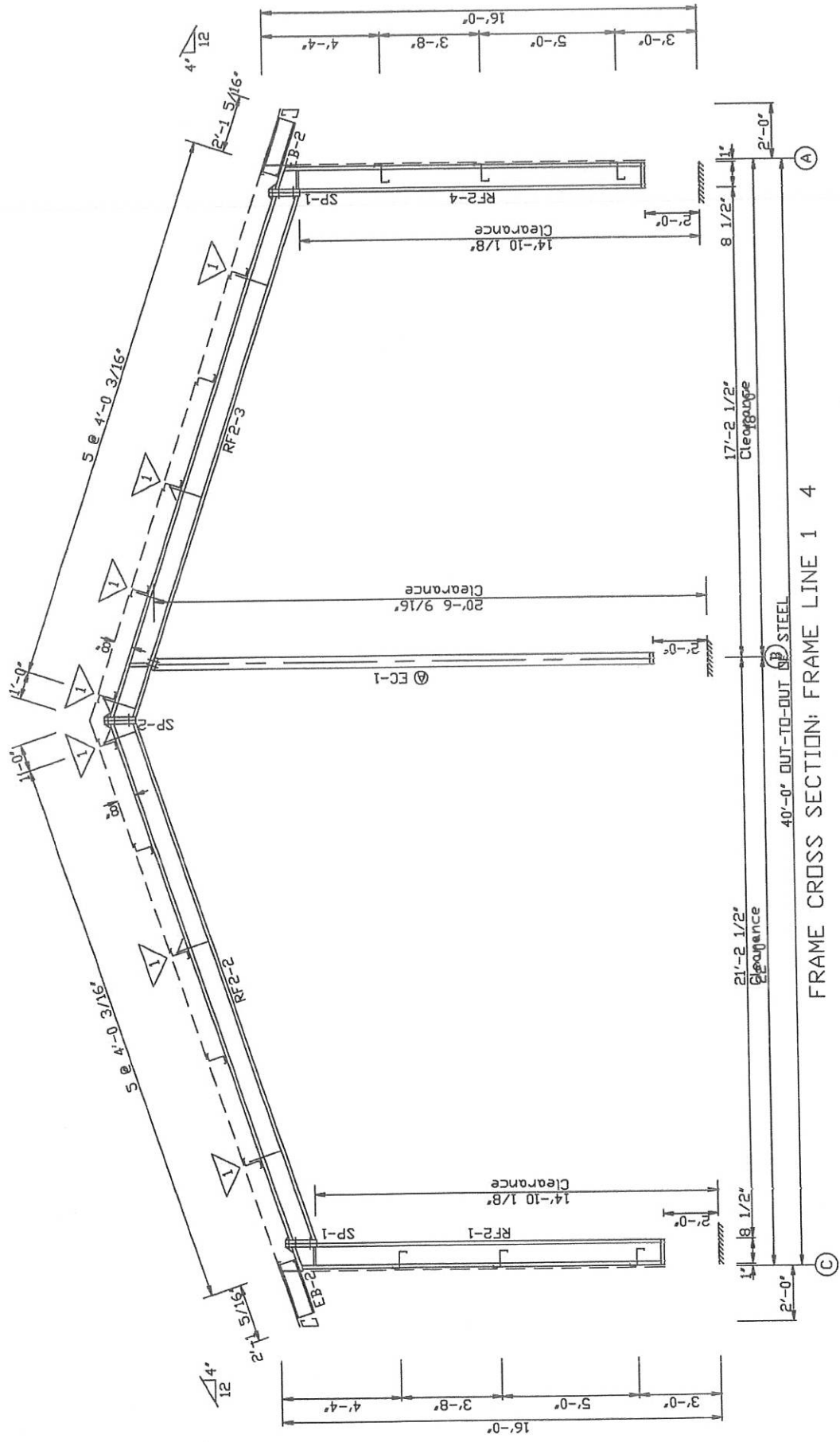
Soffit Panel Type:		Gauge:	Color:
Front Sidewall: <b>PBR</b>	36" MBCI Standard Roll	<b>26</b>	<b>Signature 300 Need Color</b>
Back Sidewall: <b>PBR</b>	36" MBCI Standard Roll	<b>26</b>	<b>Signature 300 Need Color</b>

**GABLE EXTENSIONS**

Left Endwall Extension Size:	Right Endwall Extension Size:
Roof Surface 2: <b>2'-0"</b>	Roof Surface 2: <b>2'-0"</b>
Roof Surface 3: <b>2'-0"</b>	Roof Surface 3: <b>2'-0"</b>
Soffit Panel Type:	Gauge: Color:
Roof Surface 2: <b>PBR</b>	<b>26</b> <b>Signature 300 Need Color</b>
Roof Surface 3: <b>PBR</b>	<b>26</b> <b>Signature 300 Need Color</b>



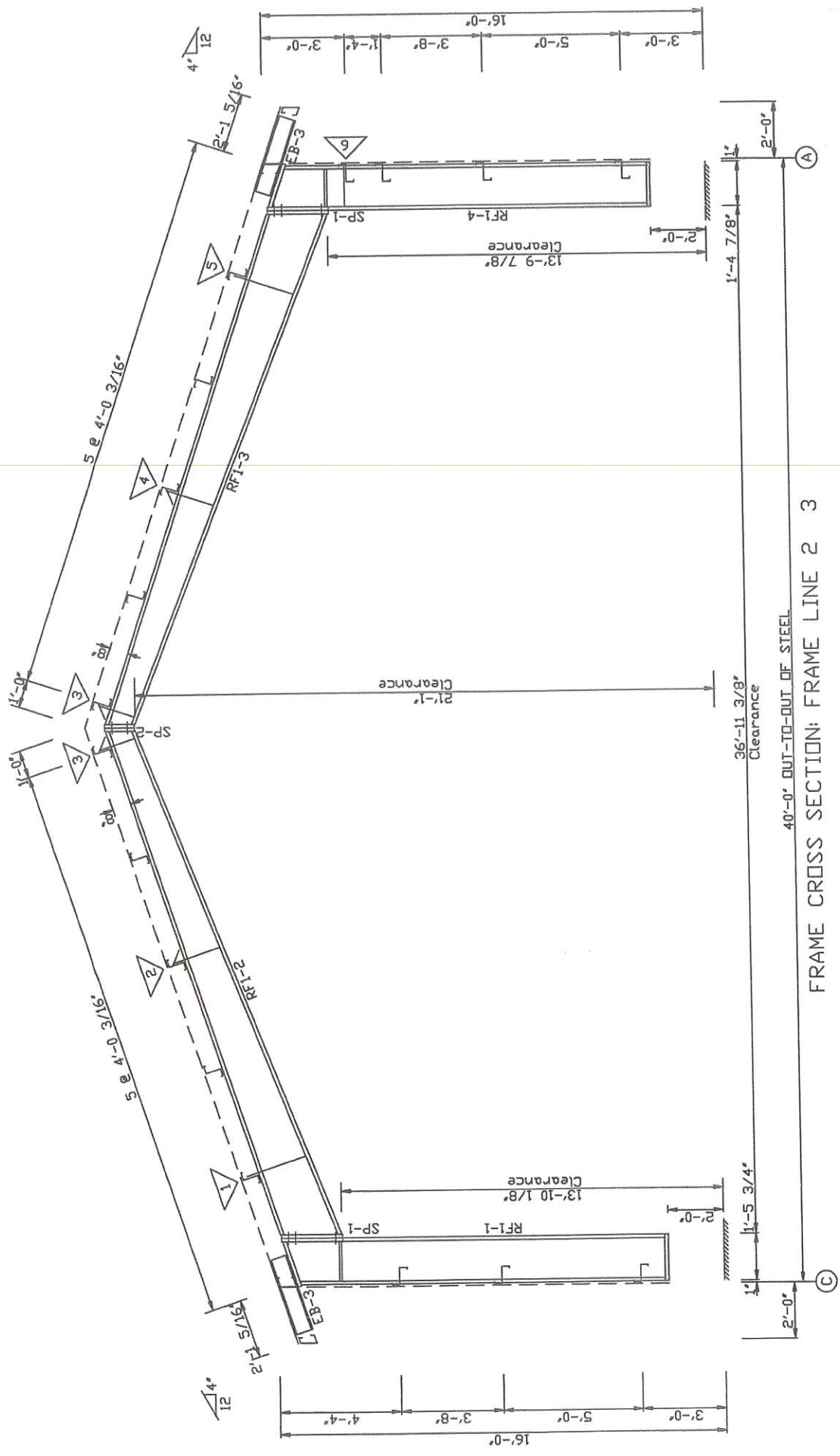
SWETS SYSTEMS  
BUILDING  
NORTHAMPTON



FRAME CROSS SECTION: FRAME LINE 1 4

NORTHERN BUILDING SYSTEMS		Alex Kassell	
PROJECT	40 x 60 Building	FRAME CROSS SECTION	PRELIM. - NOT FOR CONSTRUCTION
ID		CSR:ZRM	DATE: 7/18/17
PROJECT ADDRESS	Williamsburg, MA 02096	DRAWING: FRXS-2	

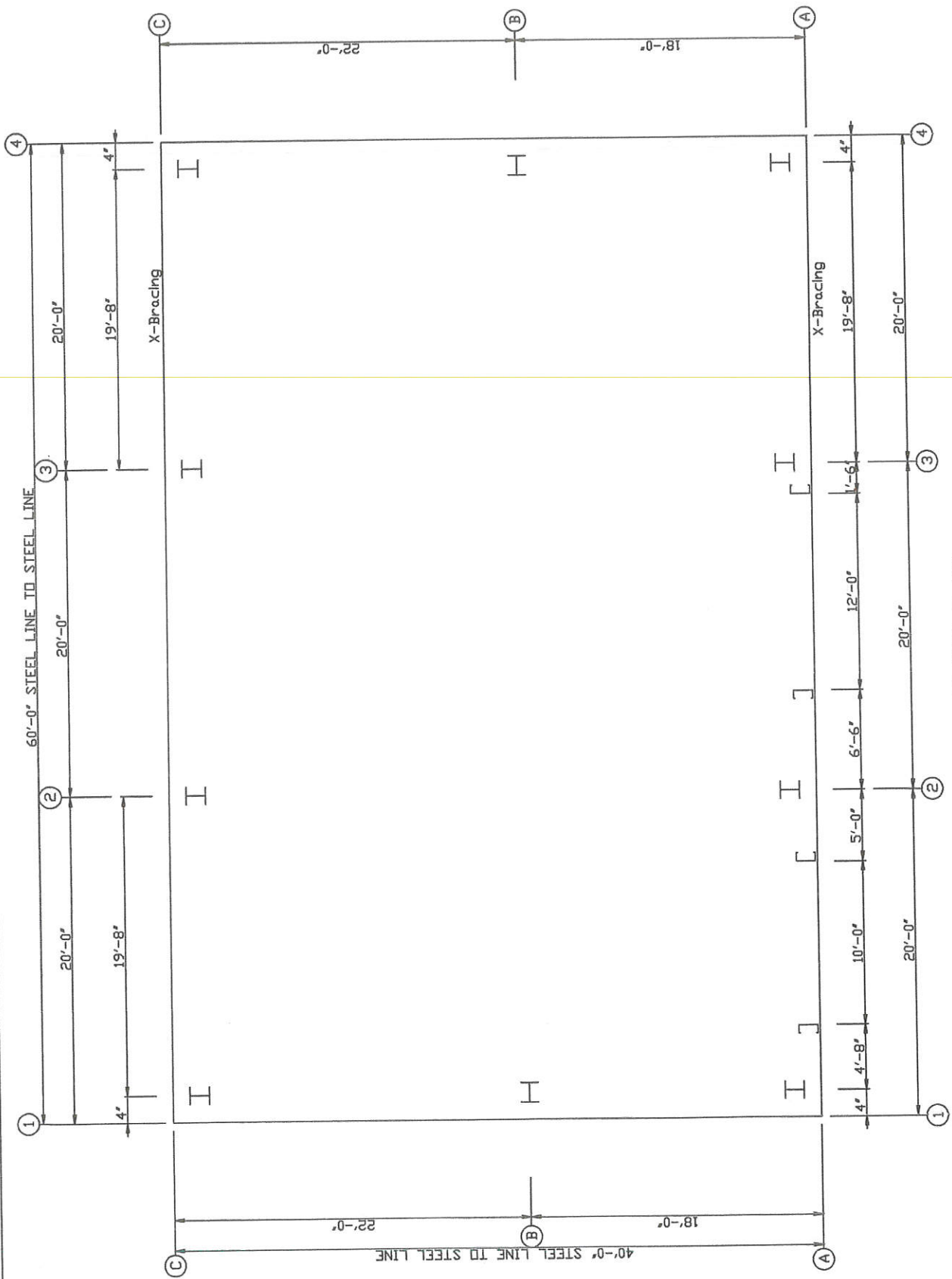




FRAME CROSS SECTION: FRAME LINE 2 3

NORTHERN BUILDING SYSTEMS		Alex Kassell	
PROJECT	40 x 60 Building	FRAME CROSS SECTION	
ID		PRELIM. - NOT FOR CONSTRUCTION	
PROJECT ADDRESS	Williamsburg, MA 02096	CSR:ZRM	
		DATE: 7/18/17	DRAWING: FRXS-1





FLOOR PLAN

NORTHERN BUILDING SYSTEMS		Alex Kassell	
PROJECT	40 x 60 Building	ANCHOR BOLT PLAN	
ID		PRELIM. - NOT FOR CONSTRUCTION	
PROJECT ADDRESS	Williamsburg, MA 02096	CSR:ZRM	
		DATE: 7/18/17	DRAWING: ABLT-1

